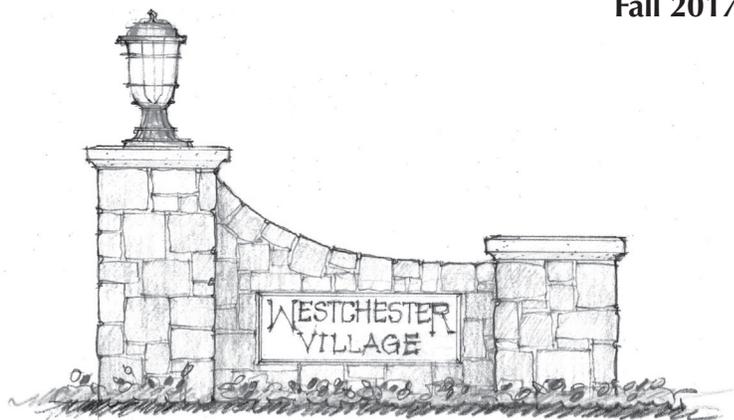


The Westchester Villager



A Publication from the Westchester Village Homeowner Association • Visit us on the web @ www.westchestervillagehoa.com



Halloween Hospitality Tent
Tuesday, October 31st 6 pm-9 pm



When you are out trick or treating with the kids, be sure to make your way to the corner of Hillboro and Wadsworth. This is a must stop destination with the kids this Halloween. Not getting your share of trick or treaters each year? Is your home on a street with very few kids? Come join us at the Halloween tent to distribute your own Halloween candy to the kids and see their fun costumes.

Enjoy hot cider, fresh coffee, treats, and lot of good company. Questions? Or you would like to help contact Robin at trmonte@aol.com. This is a favorite of Westchester Village!

WESTCHESTER VILLAGE HOMEOWNER ASSOCIATION ANNUAL MEETING

Tuesday, October 24, 2017 at 7:30 p.m.
Detroit Country Day
Lower School

Stay Informed!! Your Vote Counts! Special Speaker

NOTICE OF ANNUAL MEETING

Tuesday, October 24, 2017 at 7:30 p.m.

Detroit Country Day Lower School, 3003 West Maple Road, Bloomfield MI 48301

Board Election

Members at the 2017 meeting will elect three Board members to fill two expired and one vacant 2017 Board seat. The Board of Directors govern our Corporation...yes Westchester Village Homeowner Association is a Corporation—and are elected for a three-year term.

Our Board consists of six Directors, who hold office for a term of three (3) years, unless elected to fill an unexpired term, with terms staggered so that to the extent possible the term of two (2) Directors expires in any given year. These terms shall commence upon election at the annual meeting. At this 2017 Annual Meeting members will vote two Directors to a three-year term in addition to voting to continue Jeff Salz's term replacing William Byrne who resigned in July, 2017. Directors meet monthly and have voting rights to elect officers and make decisions governing the HOA. **If you are a member in good standing and wish to be included in this 2017 Board election by having your name on the election Director ballot, please submit your name and address in a letter no later than Friday, October 20, 2017 to:**

**Claire Michelini, Secretary, Westchester Village Homeowner Association
3340 Berkshire Drive, Bloomfield MI 48301**

DIRECTOR TERM ENDS 2017	TERM ENDS 2018	TERM ENDS 2019
Claire Michelini	Don Hirst	Robin Adams
Susan Brooks	Judy Cunningham	To be Elected 2017

Officers of the WVHOA are President, Vice President, Secretary and Treasurer and are elected by the Board at the first WVHOA Board meeting following the annual meeting. We need a Vice President. Duties of this office are to assist the President and have operational oversight. Please show your interest in serving as an officer by attending the November 21 Board meeting.

Now is the time to stretch a bit and get engaged in decision-making in Westchester! We Need You!!

If you overlooked paying your 2017 HOA dues, you can bring a \$60 check that includes a \$10 late fee, payable to Westchester Village HOA to the meeting. OR mail the check to our Treasurer at 3608 West Bradford.

Roads Rebuild Petition Fell Short

Despite the overwhelmingly positive response from Westchester Village residents at the November 2016 Roads Rebuilding Special Meeting, the petition campaign fell short of the support needed to proceed further, therefore, the Special Assessment District plan was rejected by residents.

The petition drive was spear-headed by co-chairpersons Jeff Salz and Robin Adams. The co-chairs developed a two-part strategic plan. The first step was a signing event held in March 2017 at Detroit Country Day Lower School. The second part of the plan moved forward with 14 volunteers going door-to-door to canvas the 18 streets that make up Westchester Village. The total number of 109 households signing in support fell short of the target of 216 households needed to proceed with the Special Assessment District road rebuilding project.

These resident volunteers took the time to educate themselves and others about the roads project. They worked tirelessly although the outcome was disappointing. Thank you to all our volunteers!

Teamwork Makes the Dream Work

Volunteers make Westchester Village a great place to live! The past year was highlighted by an increasing number of new volunteers ready to give their time to serve our community. Some of the projects that benefited from volunteer assistance in the past year were:

- Welcoming new residents
- Neighborhood Garage Sale
- Neighborhood Plant Share
- Public Safety
- Architectural Control Committee
- Neighborhood Egg Hunt
- Halloween Hospitality Tent
- Neighborhood Clean Sweep spring cleanup
- Writing Newsletter, Facebook & Website Notices
- Roads Rebuilding Committee

Maintaining & Decorating Westchester Village subdivision entrances

Please be sure to thank the following residents for their participation when you see them:

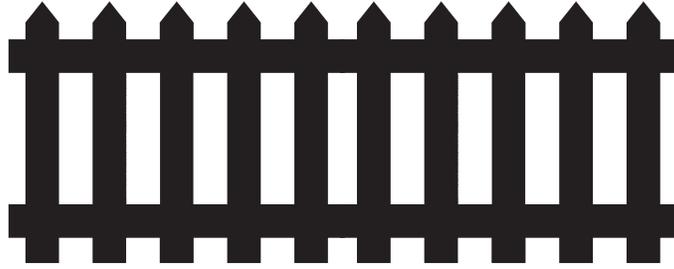
- Matt Ayers
- Jennifer Gatewood
- Ed Genheimer
- Julie & Rachel Jackson
- Cynthia & David Price
- Mike Smith
- Melanie Weiss
- Pam Beck
- Jared Gell
- Brian Hartwig
- Carrie Henderson
- Alex Simich
- Carl Weiss
- Linda & Richard Wolschlager

We can't thank all our Westchester Village volunteers enough!

WE COULDN'T DO IT WITHOUT YOU!

Do you have time or a talent you are willing to share to help our neighborhood?

On the Fence...



“**Something there is that doesn’t love a wall**” – that’s the opening line from Robert Frost’s famous poem where he counters his neighbor’s assertion that good fences make good neighbors. Pun intended, you can be on both sides of that fence in that some people like them, some hate ‘em.

But we hope you will be on the **legal side** of the fence.

To set the record straight, virtually every HOA and community has restrictions and requirements on fences, and our subdivision does as well. The Westchester Deed Restrictions, and the Architectural Guidelines spell out that all fences must be submitted to the WVHOA for approval **BEFORE** installation. In addition, Bloomfield Township has to issue a permit, and a fee is involved.

Like most other HOAs in this country, our neighborhood standards are not identical to the larger community, in this case, Bloomfield Township. Our subdivision guidelines do not allow chain link, wood, or “stockade” style fences. It was decided long ago, that chain link or wood fences are not in keeping with the nicer homes in our neighborhood, and the upkeep required virtually guarantees that those fences will look shabby at some point.

Instead, fences are discouraged here, and prefer the use of shrubbery, such as evergreens, to provide the lasting year-round privacy some desire. This option is preferred, and likely would save a homeowner money vs. a professionally installed fence and permit, and the screening can be taller than a constructed fence. If a homeowner insists on a fence, they might consider an electric fence if for dogs, or they can choose an **ornamental** “see through” style that preserves the open garden park-like feel that is valued in our neighborhood.

In any case, the fence or wall must be submitted to the WVHOA for approval, before applying for a permit to Bloomfield Township. There are specific requirements on where they can be placed in the yard, and they can be a **maximum of four feet in height**. Please read the Architectural Guidelines, posted on www.westchestervillagehoa.com, and click on the Resources tab to get the details. Feel free to call a member of the Architectural Control Committee (ACC contacts are listed on back page of newsletter) for questions.

PLEASE – be a good neighbor and review these guidelines. We have had instances of renegade residents who stealthily put up a fence, and then we’ve had to deal with numerous complaints from neighbors. Apart from it being a violation of the neighborhood standards, it’s definitely a fairness issue – they ask ‘Why did you (WVHOA) allow this? Or, ‘Why didn’t you allow me to do it?’ **Our role is to be fair and consistent to all - nobody is more favored than someone else.** And no one wants to have to take it down or modify it after the fact, or pay a Township fine.

That said, there already are chain link or wood fences from long ago, some of which are grandfathered, but cannot legally be replaced, plus the aforementioned, more recent “Rogue” fences. Let’s play by the rules, and the result will be a beautiful neighborhood, and harmonious relations with the neighbors!

Also note, not just fences, but any other exterior improvements – such as additions, or new home construction - also need to submit application to the ACC before proceeding with their plans. Same discussion as above – HOAs typically have restrictions that are different than the Township, and we must apply our standards in a fair and consistent manner to all.

Acts of Kindness in Westchester

By Marilyn Beckham

Just saw an article in the Birmingham Schools newsletter about “character education missions,” participating in Random Acts of Kindness week, and teaching local children about kindness.

It got me thinking about all the ways that kindness has been present in our home since moving here in 1990. When I first bought my home, the previous owners left a large potted plant in the living room, with a sticky note that said “We hope you will be as happy here as we were.” That led me to write the same message on the wall for future homeowners when we tore out a closet and replaced it with a built-in bookshelf.

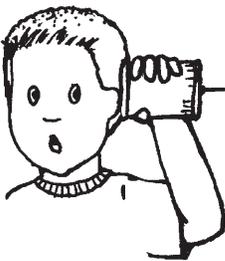
When we married in 1992 and held a reception in our home, our neighbors pushed a full-size refrigerator down the street so that there would be extra space for the catered food. A steady stream of loaned items has flowed back and forth on West Bradford since then. Why buy a punch bowl when you can borrow mine? Why store a wheelbarrow, when we can all use this one? The tall tree apparatus, extra rakes and the like have all made the rounds.

In fact, we tell any new neighbor that this is like a 40’s neighborhood where everyone actually knew each

other, and introduce the one with the ladder and so on. We’ve been lucky enough to always have someone to help us move the table up from the basement at Thanksgiving, hook up a washing machine, or let us use a van to pick up a large item at the home improvement store. In turn, my husband exemplifies his Boy Scout days by cleaning out the gutters for those who can’t do it anymore, and I’ve often seen him clearing snow from neighbor’s driveways.

One summer Orrin was hospitalized for a month, and again it was neighbors who quietly had our back. Without asking, they just did what we could not during that trying time. One mowed our lawn for months, others watered our window box plants.

Certainly, every street in Westchester has people with stories of support. Big or small, all acts of kindness, random or planned, are inspiring to read! Why not send them to the Board, and we will publish them in the next newsletter? Or you could post them on the Westchester Village facebook page. We could start a chain of Acts of Kindness that’s contagious – a gift that keeps giving!



Communication is our human connection - and leads to community.

We are exploring ways to communicate with our Westchester neighborhood of 462 homes. Some people like this newsletter, but it can be slow and expensive.

- We have a website, but sometimes it's hard to navigate as there is a lot of info there.
- Others like emails, but some don't want a constant barrage.

LOOK AT US NOW!

By Judy Cunningham

Home sales in the U.S. are at a ten year high, which is good news for everyone! To paraphrase an old saying, all real estate is local, so what does this mean for Westchester Village? Read on for the statistics on our fabulous recovery from the real estate bubble which hit Michigan and most of the country ten years ago.

2006		YTD as of August 31, 2017 *	
Homes Listed & Sold	5	Homes Listed & Sold	12
Total Value	\$ 1,980,500	Total Value	\$ 5,150,655
Average Sale Price	\$ 396,100	Average Sale Price	\$ 429,221
Average Sale Price per Sq. Ft.	\$ 180	Average Sale Price per Sq. Ft.	\$ 205
Lowest Sale Price	\$ 283,000	Lowest Sale Price	\$ 255,000
Highest Sale Price	\$ 595,000	Highest Sale Price	\$ 818,000
Average Days on Market	110	Average Days on Market	73

It is interesting to see that our home values did not plummet in 2006 as they did in many other locales. However, you will note that sales volume was very low and it took much longer to sell a home. A sharp increase in new construction resulted in the 2017 "Highest Sale Price" far surpassing that of 2006.

There were 222 listed homes which sold in Westchester Village from 2006 through August 31, 2017. Six homes were sold in 2014, 35 homes in 2015, 21 homes in 2016 and 12 in 2017 through August 31, according to Realcomp Multilist records. The shortage of inventory in 2017 has resulted in fewer homes sold to date in 2017.

In 2016, 12 of the 21 listed homes sold for over their State Equalized Value (Assessed Value), and we also broke the record for Sale Price per Square Foot, with the sale of a home at \$295 per square foot! The highest Sale Price per Square Foot in 2017 through August 31 was \$245 and we have seen 9 homes out of the 12 sold to this date sell for over their State Equalized Value.

We found that 73 out of our 461 homes are now valued at over \$400,000. Real comp records also show that 24 of our homes are now valued at over \$600,000. The highest sale price to date is \$944,000 for a 2014 new home.

New construction and remodeling are booming here again, and Westchester Village continues to be one of the most in-demand subdivisions in Bloomfield Township. A robust economy leads us to expect 2018 to be another banner year for home values in our wonderful community!

WESTCHESTER VILLAGE HOA OFFICERS

President
president@westchestervillagehoa.com

Vice President
vicepresident@westchestervillagehoa.com

Secretary: Claire Michelini - 248-229-2611
secretary@westchestervillagehoa.com

Treasurer: Marilyn Beckham - 248-644-2448
treasurer@westchestervillagehoa.com

RESOURCES

Webmaster – need a volunteer

Facebook - need a volunteer

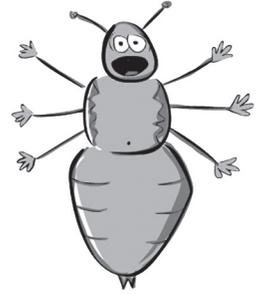
Welcome Committee – Robin Adams
313-227-3278 trmonte@aol.com

Ordinance enforcement – Jeff Salz
248-645-5953

Head Lice

During a routine head lice screening at school your child was found to have nits in their hair. Parents dread this call. We all know someone whose child, parent or grandparent was found to have this infestation.... not an infection or disease, but an infestation.

Head lice are tiny insects 1/8" long that live on the human head. Color varies from light to dark tan. They do not jump or fly, but crawl from hair to hair and feed on blood from scalp bites. Anyone can get head lice regardless of their personal hygiene practices. Head lice is most common in preschool, elementary school age children, and household members of infected individuals. Head to head contact is the most common way head lice is transmitted. Sharing items like combs, brushes, towels, bedding, hats, coats, scarfs, ribbons and barrettes and placing heads on furniture, rugs, pillows, or car seats recently used by someone with lice promotes lice transfer.



Signs and symptoms include:

- Tickling feeling in the hair.
- An itchy head, especially around the ears and back of the neck.
- Lice eggs are smaller than sesame seeds and are called "nits." Unlike dandruff and other matter, nits are tightly attached to the hair shaft, often close to the scalp. Nits can vary in color including white, gray, yellow, tan or brown.
- Nits can be found on any hair and hatch in 8-9 days.
- Adult lice are about the size of a sesame seed and may or may not be seen on examination.

A person with head lice is contagious until lice and nits are destroyed. Complications can occur from scratching. Head lice do not spread disease or illness.

You can avoid head lice by

- Not sharing combs, brushes, bandanas, ribbons, barrettes, hair ties, hats, caps, scarves, headsets, towels or any other personal headgear.
- Do not try on other people's hats (even in department stores).
- Hang coats separately and place hats and scarves inside coat or jacket sleeves.
- Clean or disinfect shared headgear (such as helmets) with Lysol or rubbing alcohol before it is used by others.
- Regularly check your child's head for lice.
- Avoid head-to-head contact at school (in gym, on the playground, etc.) and while playing at home with other children.
- Do not lie on bedding, pillows, carpets or upholstered furniture that have recently been used by someone with lice.

The Oakland County Health Department website has instructions for treatment and cleaning guidelines.

Resources:

Fact Sheet https://www.oakgov.com/health/information/Documents/Fact%20Sheets/fs_Headlice.pdf

Head Lice Check Off List https://www.oakgov.com/health/information/Documents/headlice_checklist.pdf

Head Lice: A Parent's Guide. https://www.oakgov.com/health/information/Documents/head_lice_flipchart.pdf

State of Michigan Head Lice Guide

http://www.michigan.gov/documents/Final_Michigan_Head_Lice_Manual_106828_7.pdf

Submitted by Claire Michelini, RN
source: Oakland County Health Department 9/2017

DATES TO REMEMBER

October 7 Hazardous Waste
Drop Off
Bloomfield Twp Campus
9 am – 2 pm

December 15 Last day yard
waste pickup

ARCHITECTURAL REVIEW COMMITTEE

Chairman
architect@westchestervillagehoa.com
Mike Smith Pam Beck
Matt Ayers Tom Caltrider



Visit Westchester Village on FACEBOOK and keep up-to-date with what's happening with your neighbors and local subdivision news!

Bringing neighbors together! Check it out!

ADVERTISING RATES

Advertise your business
we reach 462 households

Full Page \$200 Half Page \$100

Quarter Page \$60 Business Card \$30

Angel Nails

*Acrylic, Gel Nails *Manicure *Pedicure *Silk Wrap
*Shellac *Axxium *Waxing *Eyelash Extension

32858 Woodward Ave
Royal Oak, MI 48073

Tel: (248)549-1010
(1 Block South of 14 Mile Rd)

Business Hours:

Tues-Fri 10am-8pm. Sat 9am-7pm. Sunday 11am-5pm.
CLOSED MONDAY * Walk Ins Welcome



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Edward Jones
MAKING SENSE OF INVESTING

COMMUNICATIONS

WEBSITE: www.westchestervillagehoa.com

Need and improved website being worked on as this newsletter goes to print.

EMAIL: the fastest and most widely used for most members but to notify you.... ***we need your address.***
We promise not to overuse your email.

FACEBOOK: find us as "Westchester Village HOA",
then *like us and follow us* to more easily see