

*Westchester Village
Homeowner Association*

**Architectural
Guidelines**

Including

Application for Architectural Change

and

Application for Accessory Structure

September 8, 2018

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Overview

In 2004 the residents of the Westchester Village Subdivisions (“Old Westchester” and Subdivisions 1, 2 & 3) amended their deed restrictions to allow two story homes. Previously, only one story homes were allowed to be built in the three subdivisions. The amendment of the deed restrictions allows the renovation of existing single story homes into two story homes, and the construction of new two story homes. When, within these guidelines, reference is made to size and mass of homes, the guidelines are generally referring to the recommended size and mass for renovated homes which become two story and new homes.

The authority for the Architectural Control Committee (ACC) and these guidelines is provided within the subdivision deed restrictions. This committee has been active since the founding of Westchester Village in the late 1950’s. However, in the early years of Westchester Village’s development there were no documented guidelines to assist homeowners in renovations or construction of new homes. At times, this led to confusion and sometimes arbitrary decisions.

The objective of the Architectural Control Committee is *not* to deny home construction or renovation plans but rather to help homeowners to obtain approval and help them move forward quickly with home improvements. Likewise these guidelines are broad enough so as not to restrict what a homeowner can do, but maintain harmony within the community.

We envision that harmony should be maintained among single-story (one-story) homes when additions are made to those homes or when new single-story homes are built. Likewise, we also envision that harmony be maintained among two-story homes, be they renovated existing homes or new homes. We also maintain that the entire community is best served by maintaining complementary style homes.

Within these guidelines, we were careful to include a notification process for all affected property owners for the purpose of obtaining their views on any proposed construction. The Westchester Village Board of Directors and members of the Architectural Control Committee are available to provide assistance in your efforts to improve your property

Approvals

No building, fence, wall or other structure shall be commenced, erected or maintained on any lot, nor shall any addition to or alteration be made, except interior alterations, until written approval has been received from the Architectural Control Committee. Approval requires concurrence and signature by three members of the ACC. Drawings and written description must be submitted to the Architectural Control Committee showing the nature, kind, shape, height, materials, color scheme, location on lot, and the grading plan of the lot, including grade elevations of buildings. An application form has been provided at the end of this document to facilitate this effort. A copy of the written request will be filed with the Committee and kept on file for a period of at least five years.

Architectural review is provided as a service to members in good standing of the Homeowner Association (HOA) (A member in good standing is a resident that is current on payment of Homeowner Association dues). For members in good standing, this service is free. If a Westchester Village property owner is not in good standing, they must pay all outstanding Homeowner Association dues plus all late fees will be assessed by the Association Board of Directors before approval will be considered.

Bloomfield Township will not issue a building permit without consulting with the Westchester Village Homeowner Association. Before applying for a building permit from Bloomfield Township for any home construction or renovation, installation or replacement of air conditioner, fence, play structure, generator, or other accessory structures, the approval by the Westchester Village Architectural Control Committee is required. If a variance is required by the Zoning Board of Appeals (ZBA), presentation to the Homeowner Association Architectural Control Committee is preferred by the ZBA before it considers the request.

In reviewing proposed plans or specifications, the Architectural Control Committee has the responsibility to take into consideration the suitability of the proposed plans with the harmony of its surroundings and the effect of the structure as planned on the outlook from adjacent or neighboring properties and residents. As a part of the approval process, the ACC may inquire of nearby neighbors to solicit their views. The views of these property owners will be an integral part of the approval process. Proposed plans will be made available to any member of the Homeowner Association.

While the goal of the Architectural Control Committee is to ensure the subdivision remains a beautiful, harmonious, private residential community, the ACC shall not be arbitrary nor capricious in its decisions. If a disagreement should arise, grievances may be submitted to the Board of Directors for additional review.

Three complete sets of full size Architectural construction/permit drawings are required to be submitted for Architectural Control Committee approval. One set of drawings provided must be presented on 8.5" x 11" paper.

Upon approval, at least one ACC member will initial all pages of the construction/permit set of drawings. At least one ACC member will sign the project site plan and front elevation drawings. Two sets of signed and initialed drawings will be returned to the applicant. You may then submit the signed and initialed drawings to the Bloomfield Township Building Department to obtain your building permit.

Project approvals are valid for one year. If the original approval expires before building permit is obtained, re-approval will be required by the Architectural Control Committee. Projects are required to be completed within twelve months of the start date. Projects may be monitored by the ACC for conformity to the approved plans.

Guidelines

Traditional Architectural Designs

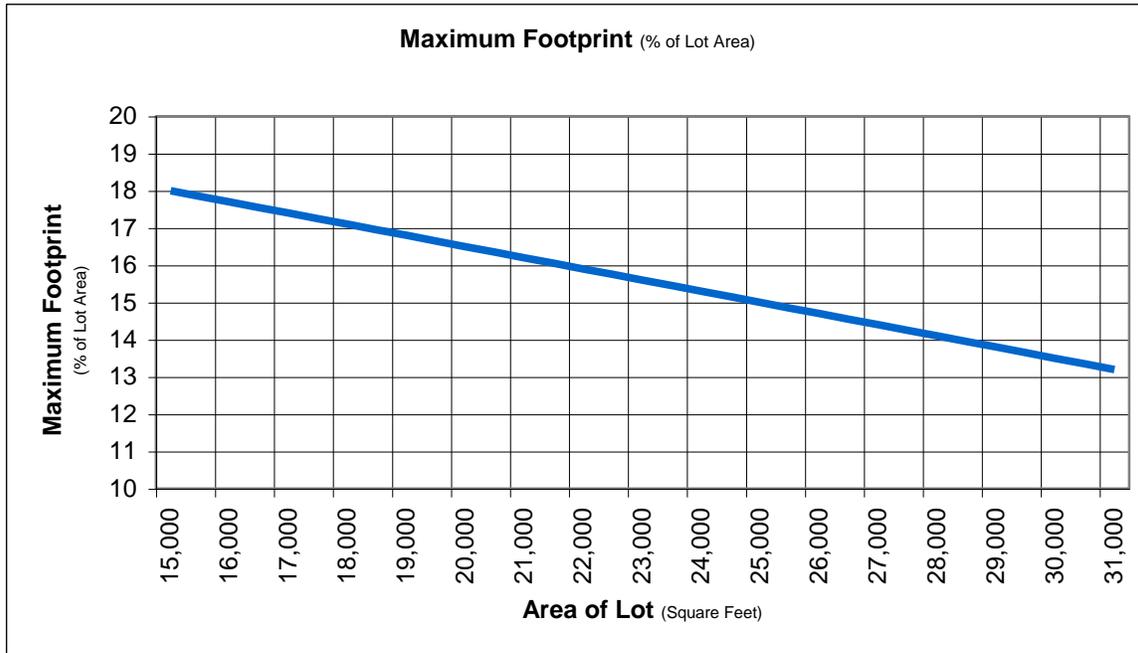
- Design details must be consistent with architectural style.
- Additions and other improvements must be designed to be “seamless”, meaning that they must appear to have been built as part of the original structure.
- New construction must utilize architectural style compatible with that of existing Westchester Village homes in order to blend into the neighborhood.

Scale, Balance and Height

- The home’s mass, scale and height are to be appropriate for the lot and in harmony with the mass, scale and height of adjacent and nearby Westchester Village homes.
- The maximum allowable footprint for new construction, home renovations, or home additions is based on the size of the lot and expressed as a percentage of the lot's square footage. Footprint refers to the area of the lot covered by a structure with footings. See Exhibit #1 to determine the percentage of the lot which may be built upon. Exhibit #2 and Exhibit #3 illustrate the maximum footprint of a home based upon a given lot size. Maximum lot coverage including the Footprint of the home and all pavement and other structures not included in the above definition (i.e. deck, patio, porch, etc.) is limited to 30%.
 - For projects building an addition to an existing one-story home, if the addition is completely on one story and entirely located behind the existing home, the ACC will consider an adjustment to the Exhibit #2 and #3 formulas to the following formula:
 - Max footprint of home (% of lot area) = $24.7 - (0.0003 * \text{Area of Lot in Sq Ft})$
 - Maximum lot coverage including all pavement and other structures limited to 32.2%
 - Maximum lot coverage for lots with side or rear entry garages including all pavement and other structures limited to 37.2%
 - For projects on lots including an existing or proposed in-ground swimming pool, the ACC will consider approving projects with maximum lot coverage including all pavement and other structures limited to 42%.
 - For projects on lots for side or rear entry garages, the ACC will consider approving projects with maximum lot coverage including all pavement and other structures limited to 35%.

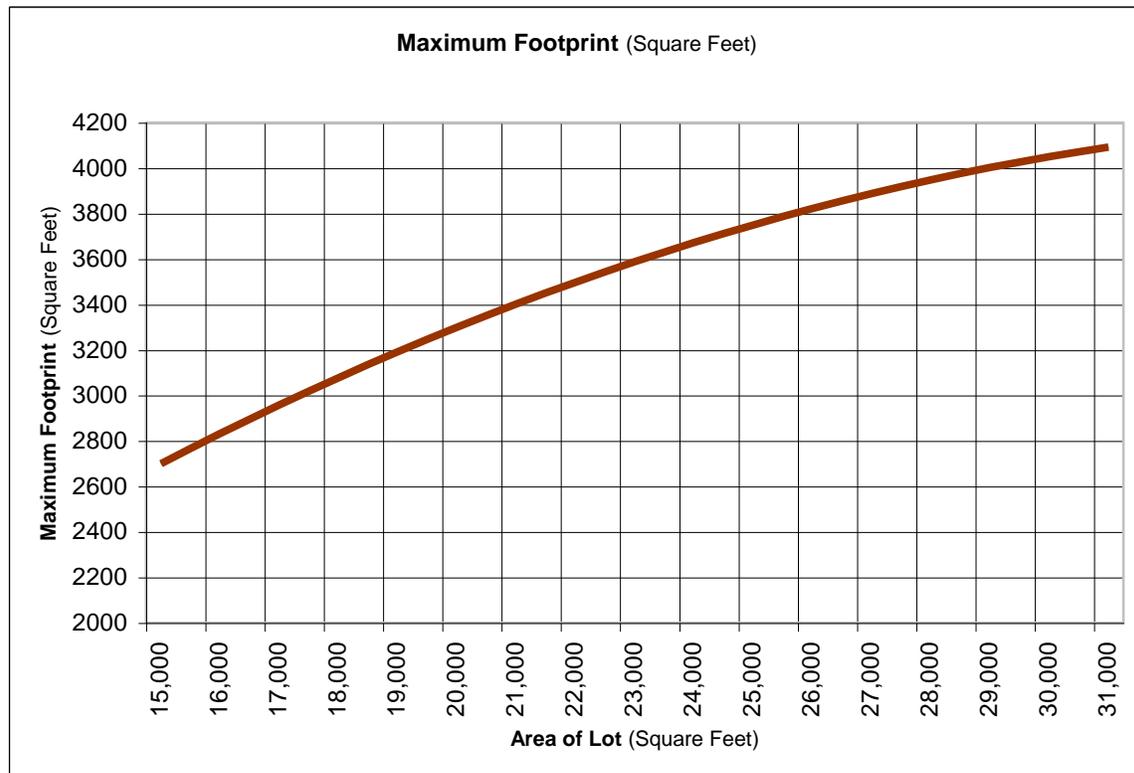
- Mass of home is to be centered in main structure; attached sections are to be of lesser height and mass.
- The Board of Directors strongly encourages roof heights which maintain harmony with the balance, scale and proportion of Westchester Village homes. Two characteristics common to existing Westchester Village homes are 1) moderately pitched roofs and 2) maximum roof heights ranging from 28 to 32 feet (measured grade to peak). The logic is that a Colonial Revival home would potentially have a lower roof line than a Tudor or Normandy style. A proposed roof height significantly higher than homes on neighboring and adjacent properties creates great concern for Westchester Village Directors. If an architect, developer, or homeowner anticipates their proposed residence will have an absolute roof height that is uncharacteristic of traditional Westchester Village architecture, the Directors strongly encourage preliminary discussions between the interested parties. These discussions should take place when the home design is still in the concept stage.
- The following specifications describe the maximum allowed roof heights in Westchester Village.
 - The term “grade” shall be defined as the average grade on the perimeter of the front and sides of the home.
 - Maximum roof height as measured from grade to peak shall not exceed 34 feet.
 - Maximum midpoint of the roof height as measured from eaves to peak shall not exceed 27 ft above grade.
 - Homes exceeding 32 feet in height as measured from grade to peak shall include a hip roof design to slope the roof away from the adjacent neighbor.

Exhibit #1

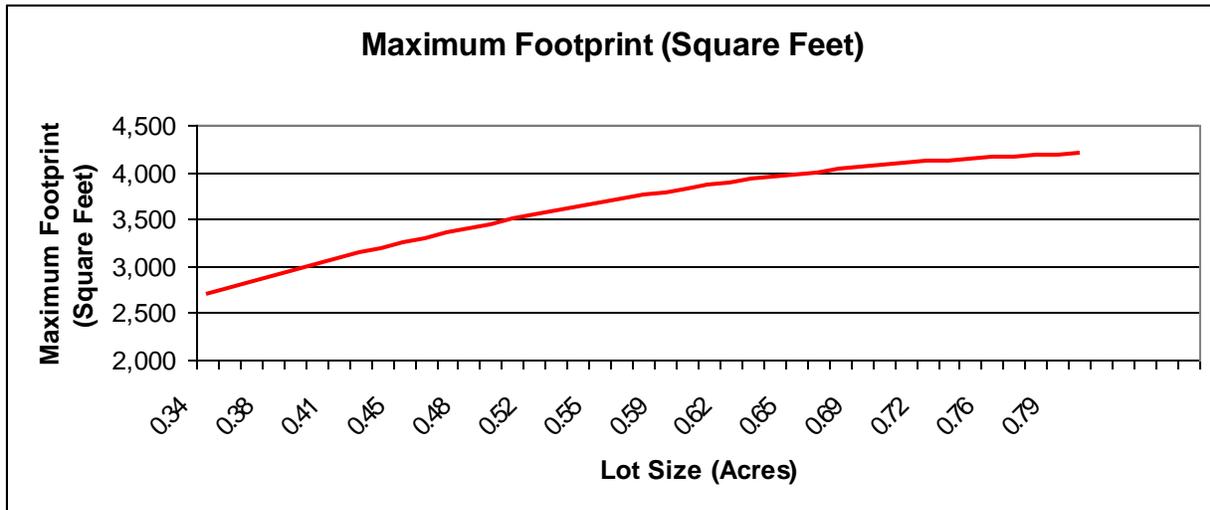


Max footprint of home (% of lot area) = 22.5 – (0.0003 * Area of Lot in Sq Ft)

Exhibit #2



Max footprint of home (Sq Ft) = Lot Size Sq Ft * Max foot print of home (% of lot size)

Exhibit #3

Max footprint of home (Sq Ft) = Lot Size (Acres) * Max foot print of home (% of lot size)

Set Backs

- Building setback is established as follows: No residence or garage shall be erected, altered, or placed closer than forty (40) feet to the front lot line, or thirty-five (35) feet from the rear lot line, or sixteen (16) feet from any side lot line. Corner lots are considered to have two front lot lines.

Roof Lines

- Roof pitches of main structure, wings, and dormers are to be consistent and/or complementary.
- Roof pitches and fascia trim to be appropriate for the architectural style of home.
- Roof styles (hip, gable, etc.) to be consistent and/or complementary throughout the structure.
- One roof material of consistent color, to be used except for accents (i.e. copper bays).
- See previous section Scale, Balance, and Height for discussion on maximum roof heights.

Windows

- Frames shall appear to be of high quality appearance.

- Window designs to be complementary and consistent throughout the home. Window size to be of proper scale to home.
- Window placement shall make all areas visible from the Street appear to be living area, including the garage.
- Window placement to be balanced and purposefully integrated into design.

Doors

- Main entry door to be consistent with style of home.
- Service doors at side and rear to be compatible with design of home.

Exterior Hardware and Lighting

- To be complementary with the design of the home.
- Lamp posts, if used, to be consistent with lighting on the home
- Low level garden/pathway lighting and low level deck, rail and lantern lighting are permissible, when part of a landscape design and mechanics are discreetly installed.
- High intensity security lighting shall be adjusted so as not to intrude on adjacent properties.
- Satellite dish antennas of 24 inch diameter or more must be hidden from view of the street and be of a neutral color. No large dishes (over 1 meter diameter [3 ft 3 in]) are allowed. A satellite dish mounted on the home with less than a 24 inch diameter does not require an Application for Accessory Structure

Exterior Materials

- Exterior materials must be consistent with design theme of home.
- Where the exterior is other than brick or stone, the exposed foundation is to be brick or stone from front, rear and side elevations.
- This guideline is intended to include brick with natural coloring, natural stone, clapboard made of wood or quality substitutes, stucco and half timber or quality substitutes, board and batten, and painted brick.
- This guideline is intended to exclude the use of reverse board and batten sheeting, plywood and rough sawn siding which imitates finished siding.

- Chimneys must be of traditional construction and faced with materials in a manner consistent with existing chimney(s) and the style of the home.

Exterior Details

- The use of shutters, pediments and other exterior details is encouraged to enhance the appearance of each home and to provide opportunity for variety in home detail.
- The use of front yard accessory structures such as, gates, fences, and walls is not permitted.

Additions

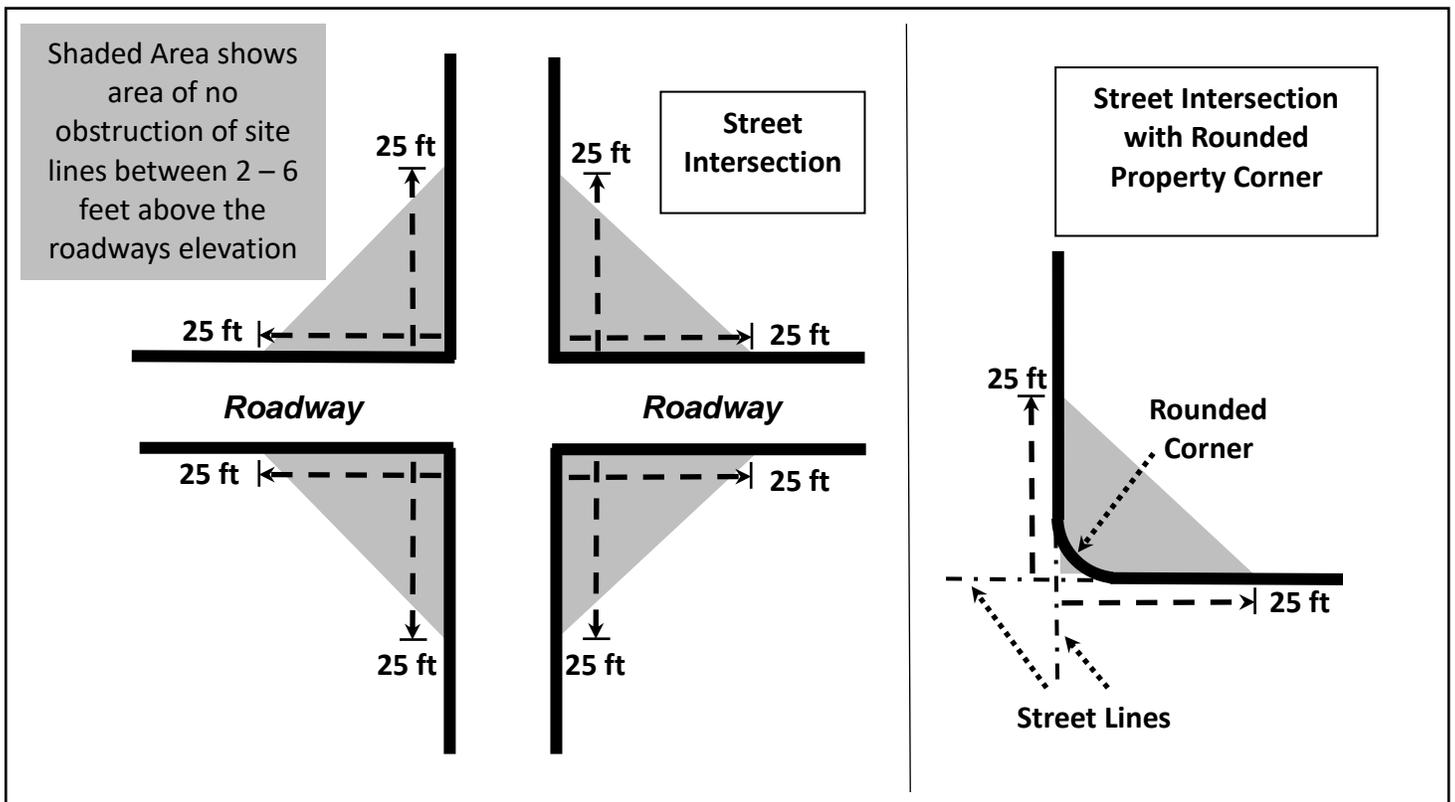
- Additions must be designed to appear "seamless", which means it must look as if it were built at the same time as the original structure with respect to the aforementioned criteria.
- Conformity to lot line set-backs is necessary unless a variance from such set-back is obtained from the Bloomfield Township Zoning Board of Appeals.

Fences

- The use of fences is discouraged. Trees, shrubs, and plants are the preferred choice for providing privacy and screening.
- Fences shall be ornamental in nature and shall be constructed of an open design so that that a minimum of 80% of the fence surface is open area as viewed through the fence.
- The installation of new chain link or solid fencing is not permitted in Westchester Village. When existing chain link fencing needs to be replaced, a more suitable fencing material should be used. Existing solid fencing in poor condition may be replaced with materials of like design with the approval of the ACC on the condition that evergreen shrub screening is added.
- **All fences shall be no more than four (4) feet in height and shall be ornamental in character. In-ground swimming pools are an exception and may install fences up to 54 inches in height.**

- Restrictions on fencing is established in Westchester Village deed restrictions as follows: No fence, wall hedge or shrub planting which obstructs site lines at elevations between two and six feet above the roadways shall be placed on any corner lot within the triangular area formed by the street lines of the property (i.e. street lines are defined as the lines located along the street curbs) and a line connecting them at points 25 feet from the intersection of the street lines or, in the case of a rounded property corner, from the intersection of the street lines extended. No fence or wall shall be erected, placed or altered on any lot nearer to the front lot line than the minimum building setback line. Fences on corner lots shall not be closer to either street than the minimum building setback line.
- Residents are strongly encouraged to discuss their fencing project with their neighbors. Projects including signed approvals from their adjacent neighbors will be viewed more favorably.

Exhibit #4



Play Structures

- Placement of play structures will be carefully considered to conform with set-backs and to minimize view from street and neighbors. Play structures shall be located in the rear yard, directly behind the home. Landscaping should be used to screen the view.
- Maximum height of fourteen (14) feet. Preferred colors to be dark green and dark brown for the structure and all attachments such as slides, awnings, etc.

Mechanicals (Air Conditioning Units, Generators, Heat Pump, & Etc.)

- Front yard placement is not allowed. On corner lots, both street-facing sides of the property are considered to be "front" yards.
- A screen is required for side yard units. The use of evergreen plant material is encouraged to screen such units.

Garages

- Garages shall be attached to the primary structure.
- Garages shall include space for minimum of two (2) Standard cars and a maximum of space for three (3) Standard cars and such garage shall be of the same architectural character and materials as the garages already built in Westchester Village.
- New construction will be restricted to side or rear entry garages. Projects with unusual circumstances such as location on a cul-de-sac may submit a design for a front entry garage for consideration by the ACC.
- Under no circumstances shall a garage include a three (3) car front entry garage.

Decks and Pools

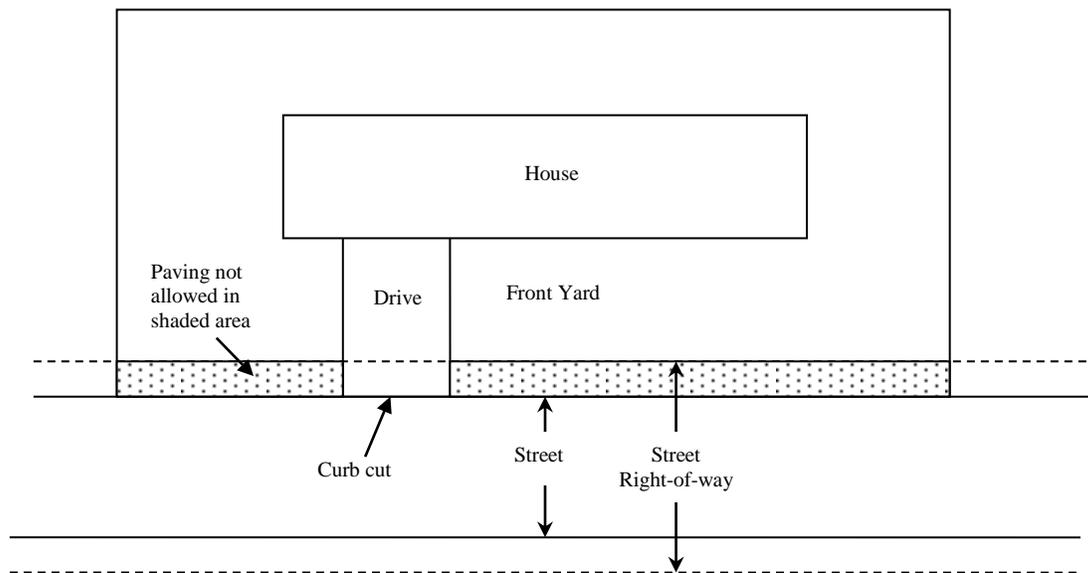
- Deck materials, finish, and design shall be complementary to the home.
- In-ground swimming pools, hot tubs and decks shall be located to minimize the view and noise from adjacent properties.
- Evergreens may be required as supplemental screening, if appropriate.
- Swimming pool equipment (pump, filter and etc.) must be screened and located in the rear yard. Screening materials that minimize the sound from swimming pool equipment is required.

- Swimming pools shall be of an in-ground design.

Paving

- Driveway must be paved with cement, asphalt, or brick pavers. Stone or gravel driveways are not permitted. If any parking, other than a driveway is needed, it should be kept to a minimum and screened with adequate landscaping so that the appearance from the road and neighboring homes is minimized.
- Curb cuts are limited to the width of a 2-car garage entrance. No other paving adjacent to the curb is allowed.
- Paving of street right-of-way, which extends beyond the curb and into the front yard is not allowed. See Exhibit 4 for illustration.

Exhibit #5



Landscaping

- Every effort must be made to preserve existing mature trees and shrubs during new construction or renovations.
- Project plans for new construction, additions, or major renovations must include a landscape plan. New landscaping is required to be sufficiently large as to blend with the established neighborhood.

Solar Panels

- All solar panels must be mounted on the home.

Mailboxes

- Curbside mailboxes are not permitted.

New Construction

- All the above stated guidelines are applicable to and will be required of new construction.
- Westchester Village was developed in several sections that each have different lot sizes and character. Therefore a home that is appropriate in one location may not be equally appropriate in another.
- The home must be positioned so that the front is parallel to the street in a manner which is consistent with the neighboring homes. The home must be positioned so that the front is in line with neighboring houses. Flexibility is allowed for cul-de-sacs and corner lots.
- Construction of a new home must be completed in one year to minimize the disturbance to neighbors.

Accessory Structures

The vision of Westchester Village includes home settings that are distinguished by open lawns and the use of plantings for privacy in order to create a community of pleasant vistas, undisturbed by extraneous or incompatible structures that might detract from the natural, rural-like setting of the neighborhood.

The deed restrictions that apply to all homes in Westchester Village authorize the requirement of prior approval of any structure to be erected on a lot.

An Accessory Use Structure is one that is incidental to the primary, residential use of a home. Examples of accessory structures include, but are not limited to: swimming pool, hot tub, tennis court, child's swing set/play structure, ice rink, basketball backboard, sports court, play house, gazebo, pergola, pool house, potting or storage shed, dog house, permanent outdoor barbecue grill or fireplace, fire pit, pole mounted satellite TV antenna, solar panels, ground mounted mechanical equipment such as AC condenser, generator and pool filter/heater.

Specific requirements for many of these structures are defined in these Westchester Village Architectural Guidelines and Bloomfield Township ordinances. However, some of these structures are considered inappropriate in Westchester Village. **Accessory structures are to be in rear yards only and may require screening with evergreen plants.** Corner lots are unique in that they have two front yards encompassing the entire road frontage. No structure may be placed in the front yard. Generally speaking, the rear yard is the area directly behind the house.

Restrictions and limitations may apply regarding lighting, annual seasonal timeframe, daily hours of use and usage by residents and guests.

Bloomfield Township Zoning Ordinance has specific requirements, limitations and prior approvals for any structure. According to their definition, a structure is anything that is constructed or erected that requires location on the ground which would apply to those examples listed above. Bloomfield Township requires the setback distance of 16 ft from side and rear property lines and 40 ft from street property lines. Bloomfield Township Planning & Building Dept. should be contacted regarding permit requirements.

If you are considering any type of accessory structure at your home the Westchester Village Architectural Control Committee should be contacted to obtain specific guidelines and requirements. Please be aware that Accessory Structures require approval from Bloomfield Township.

Construction Code of Conduct

A **WESTCHESTER VILLAGE BUILDER** (Village Builder) is defined to include the *resident property owner*, the general contractor and all subcontractors. The property owner is responsible for all activities on their property and the conduct of all contractors and subcontractors.

1. The WESTCHESTER VILLAGE BUILDER contractors are guests in the community.

Village Builders contractors are guests in Westchester Village and as such, are expected to conduct themselves as guests. Existing neighbors have a right to the quiet enjoyment and use of their property. Village Builders are expected to operate within the confines of Bloomfield Township ordinances and should make every reasonable effort to operate in the least disruptive fashion possible as to equipment operation, noise of operation, employee behavior, cleanliness of

the site and safety of the site. Bloomfield Township Ordinance allows construction Monday through Saturday from 7:00 AM to 6:00 PM only.

2. Village Builders, especially resident property owners, need to communicate with their neighbors.

Village Builders, especially resident property owners, should communicate with their neighbors explaining their proposed project, expected duration of construction time span, and names and telephone numbers of contacts. Additionally, builders should attempt to determine if any problems could be avoided by determining if the adjoining property has any particular concerns or problems with the proposed project that could be remedied before the project starts.

3. Village Builders must manage their sites and keep them safe.

Village Builders need to manage the site so as to minimize safety risks to their neighbors and other Villagers. Site management including controlling the material and equipment deliveries so as not to overload the site or the right-of-way is expected. Excavation for footings and foundations are expected to be timed so that construction follows as quickly as possible to minimize the safety risks of open unprotected excavations. Construction vehicles are to be parked on the building site driveway, not on the front lawn, or on the street immediately in front of the project. Do not park in front of neighbors, on the greenbelt, or park so as to impede Emergency vehicles. Construction vehicles, equipment, and trailers are to be stored on the property and not left on the street overnight. Location of portable restroom facilities and solid waste disposal dumpsters should be placed on the building site so as to minimize impact on neighboring property. Materials should be stored in as small an area as possible to isolate the negative aesthetic impact on neighbors. **Site construction fence gates must be closed while contractors are off site to restrict access and mitigate construction site hazards to residents and guests.**

4. Village Builders need to familiarize themselves with Township Codes.

Village Builders are expected to familiarize themselves with the Bloomfield Township codes and follow them. The Westchester Village HOA will work together with Bloomfield Township to identify violations and pursue enforcement.

5. Village Builders are to exert care.

Village Builders are to exert extreme care in designing their project and construction improvements so as to avoid cutting utility service lines such as cable, telephone, power lines, gas lines and water lines. Grade of property, either temporary or permanent, must be to avoid drainage problems for a neighbor. Care is to be exercised in grading and excavating so as to prevent damage to trees and shrubs on neighboring property and public right-of-way. Security systems should be adjusted to prevent false alarms. Village builders will remedy any of these conditions.

6. Village Builders are to preserve and consider their surroundings.

Village Builders are encouraged to preserve natural features on their property including trees and shrubbery. It is recommended to install temporary fencing to minimize damage to landscaping and to help control site cleanliness. The Westchester Village Architectural Control Committee will strictly adhere to the Westchester Village Architectural Guidelines in evaluating projects for approval.

7. Village Builders are responsible for damages.

Village Builders are required to pay the costs of repairing any and all common area improvements including curbs/gutters, sidewalks, streets, trees/shrubs and public utilities. Builders shall promptly clean any debris that is spilled on public property during the course of construction. Streets will be photographed prior to start of construction and compared for condition at the end of the project.

8. Westchester Village Builders have rights too!

Westchester Village Builders have the right to improve their property consistent with the Building and Use Restrictions, the Westchester Village Architectural and Site Guidelines and Bloomfield Township Building Ordinances. Westchester Village recognizes the right of builders to improve their property but demands that the construction activity occur in a manner which is the least disruptive to the neighborhood. Remember that inconsiderate action on the part of just one builder may have a resultant impact on all builders. Building and Use Restrictions require that all projects be completed within twelve months from approval.

On behalf of all Westchester Village residents, the Westchester Village Board of Directors, and Bloomfield Township we thank you for your understanding and cooperation.

Westchester Village
Application for Accessory Structure

**APPLICATION FOR APPROVAL OF FENCE, ROOF, AIR CONDITIONER CONDENSER, GENERATOR,
SATELLITE DISH, PLAY STRUCTURE, HOT TUB AND OTHER ACCESSORY STRUCTURES**
(Required for new or replacement of existing)

The information in this application will be used by the Westchester Village Architectural Control Committee and the Board of Directors to evaluate your proposed improvement. Please provide accurate information. Submission of inaccurate or incomplete information will delay the review process and may constitute grounds for denial of the proposed improvement.

The Westchester Village Association Board of Directors meets on the third Tuesday of each month to review proposed architectural changes. Complete documentation must be submitted to the Architectural Control Committee **three weeks prior to the meeting on the third Tuesday of the month to allow for adequate review and preparation.** Applications will be reviewed in the order complete documentation is received.

NOTE: The Bloomfield Township Zoning Ordinance requires that any accessory structure be erected only in the rear yard, no closer than 16 feet to the lot line and must have prior approval by the zoning board of appeals.

DATE: _____

NAME _____
Resident/Property Owner(s)

ADDRESS _____

MAILING
ADDRESS _____
(If different than above)

PRIMARY TELEPHONE _____

ALTERNATE TELEPHONE _____

LOT NUMBER: _____

SIDWELL NUMBER: 19 - __ - ____ - ____

PROJECT

DESCRIPTION _____

Have you reviewed the Westchester Village Architectural Guidelines? Yes _____ No _____

Have you met with the Architectural Control Committee for a pre-design consultation?

Yes _____ No _____

Do you require a new variance or approval for continuation of an existing variance from the Building and Use Restrictions or Bloomfield Township Zoning Ordinance for this feature/project?

Yes _____ No _____

Include the following documentation with this application:

- **Roof** - description of the project and material including color; provide an actual sample of the shingle. The roofing contractors estimate may meet this requirement
- **Air Conditioner** Condenser or **Generator** - a site plan showing the location of the unit (s) and screening
- **Fence** - a site plan showing the location; the height of the fence; a manufacturers color photograph showing the fence material and design
- **Satellite Dish** - an elevation drawing of the house showing the proposed location; a description of the satellite dish including dimensions and a manufacturers color photograph – a satellite dish mounted on the home with less than a 24 inch diameter does not require an Application for Accessory Structure
- **Play Structure** - a site plan showing the location of the unit; a description of the play structure including dimensions and a manufacturer’s color photograph.
- **Hot Tub** - a site plan showing the location of the unit; a description of the hot tub including dimensions and a manufacturers color photograph
- **Other** - consult with Architectural Control Committee

Photographs of your residence and the project site are very helpful in the review process.

Westchester Village
Application for Architectural Change
APPLICATION FOR APPROVAL OF ARCHITECTURAL CHANGES
AND/OR CONSTRUCTION

Date _____

Name _____

Address _____

Mailing Address _____

Primary Telephone _____

Alternate Phone _____

Lot Number _____

SIDWELL Number 19- ____ - ____ - ____

Do you intend to occupy the property after the improvement is made or is the improvement being made so that the property can be sold? Yes_____ No_____

Have you reviewed the Westchester Village Architectural Guidelines? Yes_____ No_____

Have you met with the Westchester Village Architectural Control Committee for a pre-design consultation? Yes_____ No_____

Provide the name, address and telephone of your architect.

Provide the name, address and telephone of your builder/contractor.

Describe any variances from Building and Use Restrictions that are needed.

Describe any variances from Bloomfield Township Zoning Ordinances that are needed:

Describe in detail all exterior materials and colors that will be used.

What is your planned start date? _____

What is your planned completion date?

Describe any changes to lot topography or grade that you propose.

Describe landscaping changes in detail.

Provide the following data:

Lot Area & Dimensions _____

Living Space (sq ft)	Existing	Increase	Total
First Floor			
Second Floor			
Total			

Footprint* (sq ft)	Existing	Increase	Total
House (First Floor only)			
Garage			
Porch(es)			

